

GRADING & DRAINAGE GENERAL NOTES

1. AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
2. ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, PIPES, PROTECTIVE BERMS OR OTHER MEASURES DESIGNED TO PROTECT BUILDINGS OR PROPERTY FROM STORM RUNOFF MUST BE COMPLETED PRIOR TO ANY STRUCTURE BEING BUILT.
3. FOUNDATIONS SHALL BEAR ON NATIVE SOIL OR COMPACTED FILL W/ MIN 95% COMPACTION PER ASTM D698.
4. PREPARATION OF GROUND, THE AREA OVER WHICH FILLS ARE TO BE MADE SHALL BE CLEARED OF ALL TRASH, TREES, STUMPS, DEBRIS OR OTHER MATERIAL NOT SUITABLE AS A FOUNDATION FOR FILL.
5. LOCATIONS OF ALL UTILITIES SHOWN ON THIS PLAN ARE BASED ON INFORMATION SUPPLIED TO THE ENGINEER BY A FIELD SURVEY OR AVAILABLE MAPS. NO GUARANTEE ON LOCATIONS OR ACCURACY IS IMPLIED OR GIVEN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT BLUE STAKE (263-1100) AND ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION.
6. DISTURBED AREAS SHALL BE REPLANTED WITH DESERT PLANTS OR DROUGHT-RESISTANT PLANTS. EXISTING VEGETATION SHALL BE RELOCATED IF DISTURBED BY CONSTRUCTION.
7. CONTRACTOR/BUILDER SHALL NOTIFY THE ENGINEER OF ANY VARIANCES BETWEEN THESE PLANS AND ON-SITE CONDITIONS.
8. ALL DRAINAGE SWALES SHALL BE MAINTAINED BY OWNER TO BE FREE OF TRASH, SILT, VEGETATION AND DEBRIS.
9. CONTRACTOR SHALL VERIFY PROPERTY LINE LOCATIONS PRIOR TO PROCEEDING WITH WORK.
10. ARCHITECTURAL, STRUCTURAL, ELECTRICAL, MECHANICAL AND PLUMBING ARE NOT A PART OF THIS SITE PLAN.
11. LOCATIONS OF ANY VEGETATION NOTED ARE APPROXIMATE AND SHOULD NOT BE USED FOR ARCHITECTURAL LANDSCAPE PLANNING.
12. FINISH GRADE SHALL SLOPE 5% FOR A DISTANCE OF 10' TO AN APPROVED WATER DISPOSAL AREA.
13. UTILITIES SHALL NOT BE LOCATED IN NATURAL AREA OPEN EASEMENTS (NAOS).
14. FINISH FLOOR ELEVATION SHALL BE PROVIDED BY THE C.O.S. FOR FEMA WHERE REQUIRED.
15. SWIMMING POOLS, SPAS, FENCES, SITE WALLS, AND RETAINING WALLS REQUIRE SEPARATE PERMITS.
16. ALL MECHANICAL EQUIPMENT (AIR CONDITIONER, POOL EQUIPMENT, ETC.) SHALL BE SCREENED A MINIMUM OF ONE FOOT HIGHER THAN THE HIGHEST PORTION OF THE EQUIPMENT, AND SHALL BE COMPATIBLE WITH THE ADJACENT BUILDING.
17. GUESTHOUSES ON LOTS LESS THAN 35,000 Sq. Ft. SHALL NOT PROVIDE COOKING FACILITIES AND WILL NEVER BE OFFERED FOR RENT. GUESTHOUSES ON LOTS GREATER THAN 35,000 Sq. Ft. MAY PROVIDE COOKING FACILITIES. (AND WILL NEVER BE OFFERED FOR RENT)
18. LAND DESIGNATED AS NAOS SHALL BE PERMANENTLY MAINTAINED AS NATURAL OPEN SPACE THROUGH EASEMENT, DONATION OR DEDICATION TO THE CITY OR OTHER ENTITY. NAOS SHALL BE MAINTAINED BY THE PROPERTY OWNER.
19. ENSURE NO CONSTRUCTION OFF PROPERTY.
20. POOLS SHALL NOT BE EMPTIED OR BACKWASHED INTO WASHES, STREETS, NAOS, SCENIC CORRIDORS, ON TO AN ADJACENT LOT, OR TRACT OF LAND.
21. A GUESTHOUSE OR ACCESSORY STRUCTURE SHALL NOT EXCEED A GROSS SIZE GREATER THAN 50% OF THE FOOTPRINT SIZE OF THE PRINCIPAL BUILDING.
22. REFLECTIVE BUILDING MATERIALS ARE PROHIBITED.
23. THE OWNER AND/OR CONTRACTOR INCORPORATED DEVELOPMENT DESIGN AND CONSTRUCTION TECHNIQUES THAT BLEND SCALE, FORM AND VISUAL CHARACTER INTO THE NATURAL LANDFORM AND MINIMIZE EXPOSED SCARS TO THE SATISFACTION OF THE PLANNING AND DEVELOPMENT SERVICES DEPARTMENT.
24. EXTERIOR LIGHTING SHOULD BE LOW SCALE AND DIRECTED DOWNWARD, RECESSED OR SHIELDED SO THAT THE LIGHT SOURCE IS NOT VISIBLE FROM RESIDENTIAL DEVELOPMENTS IN THE AREA OR FROM PUBLIC VIEWPOINT. EXTERIOR FIXTURES SHALL NOT GENERALLY EXCEED A HEIGHT OF 6 FEET MEASURED FROM THE NEAREST ADJACENT GRADE TO THE TOP OF THE FIXTURE (LOWER HEIGHTS MAY BE REQUIRED BY THE INSPECTION OR CODE ENFORCEMENT STAFF).
25. LAND DESIGNATED AS NAOS SHALL BE PERMANENTLY MAINTAINED AS OPEN SPACE. THE PROPERTY OWNER SHALL MAINTAIN ALL DESIGNATED NAOS.
26. A REGISTERED SURVEYOR SHALL STAKE AND ROPE OR FENCE THE CONSTRUCTION ENVELOPE AND NAOS EASEMENT IN ACCORDANCE WITH THE SITE PLAN. THE CONSTRUCTION ENVELOPE AND NAOS AREA STAKED IS THE MUST BE THE MOST RESTRICTIVE IN ACCORDANCE WITH THE ZONING ORDINANCE.

CITY OF SCOTTSDALE SITE PLAN NOTES (ESL & FO OVERLAY)

55. POOLS REQUIRE SEPARATE APPROVAL AND PERMIT.
56. POOLS SHALL NOT BE EMPTIED OR BACKWASHED INTO WASHES, STREETS, NAOS, SCENIC CORRIDORS, ON TO AN ADJACENT LOT, OR TRACT OF LAND.
57. ALL MECHANICAL EQUIPMENT (AIR CONDITIONER, POOL EQUIP. ETC.) SHALL BE SCREENED A MINIMUM OF 1 FOOT ABOVE THE HIGHEST PORTION OF THE EQUIPMENT FROM ALL SIDES AND SHALL BE COMPATIBLE WITH THE ADJACENT BUILDING. SHOW LOCATION OF EQUIPMENT ON SITE PLAN.
58. A GUESTHOUSE SHALL NEVER BE OFFERED FOR RENT.
59. A GUESTHOUSE SHALL NOT EXCEED A GROSS FOOTPRINT SIZE GREATER THAN 50% OF THE FOOT PRINT SIZE OF THE PRINCIPAL BUILDING.
60. EXTERIOR MATERIALS AND PAINT COLORS SHALL NOT EXCEED A VALUE AND/OR CHROMA OF 6 AS INDICATED IN THE MUNSSEL BOOK OF COLOR ON FILE IN THE CITY OF SCOTTSDALE'S PLANNING & DEVELOPMENT DEPARTMENT. THE CITY MAY REQUIRE COLOR SAMPLES TO VERIFY COMPLIANCE.
61. MATERIALS USED FOR EXTERIOR SURFACES OF ALL STRUCTURES SHALL BLEND IN COLOR, HUE, AND TONE WITH THE SURROUNDING NATURAL DESERT SETTING TO AVOID HIGH CONTRAST.
62. SURFACE MATERIALS OF WALLS, RETAINING WALLS OR FENCES SHALL BE SIMILAR TO AND COMPATIBLE WITH THOSE OF THE ADJACENT MAIN BUILDINGS.
63. PLANT MATERIALS NOT INDIGENOUS TO THE ESL AREA SHALL BE LIMITED TO ENCLOSED YARD AREAS AND NON-INDIGENOUS PLANTS THAT HAVE THE POTENTIAL OF EXCEEDING TWENTY (20) FEET IN HEIGHT ARE PROHIBITED. TURF SHALL BE LIMITED TO ENCLOSED AREAS NOT VISIBLE FROM A LOWER ELEVATION.
64. REFLECTIVE BUILDING MATERIALS ARE PROHIBITED.
65. REFLECTIVE BUILDING AND ROOFING MATERIALS (OTHER THAN WINDOWS AND SOLAR PANELS) INCLUDING MATERIALS WITH HIGH GLOSS FINISHES AND BRIGHT, UNTARNISHED COPPER, ALUMINUM, GALVANIZED STEEL OR OTHER METALLIC SURFACES, SHALL BE TEXTURED OR HAVE A MATTE OR NON-REFLECTIVE SURFACE TREATMENT TO REDUCE THE REFLECTIONS OF SUNLIGHT ONTO OTHER PROPERTY.
66. MIRRORRED SURFACES OR ANY TREATMENTS THAT CHANGE ORDINARY GLASS INTO A MIRRORRED SURFACE ARE PROHIBITED.
67. THE OWNER SHALL INCORPORATE DEVELOPMENT DESIGN AND CONSTRUCTION TECHNIQUES THAT BLEND IN SCALE, FORM AND VISUAL CHARACTER TO MINIMIZE EXPOSED SCARS TO THE SATISFACTION OF THE PLANNING & DEVELOPMENT DEPARTMENT.
68. ANY PROPOSED MODIFICATIONS TO NATURAL WATERCOURSES AND ALL WALLS AND FENCES CROSSING NATURAL WATERCOURSES SHALL BE DESIGNED IN ACCORDANCE WITH THE STANDARDS AND POLICIES SPECIFIED IN CHAPTER 37 (DRAINAGE AND FLOODPLAIN ORDINANCE) OF THE SCOTTSDALE REVISED CODE.
69. LAND DESIGNATED AS NAOS SHALL BE PERMANENTLY MAINTAINED AS OPEN SPACE. THE PROPERTY OWNER SHALL MAINTAIN ALL DESIGNATED NAOS.
70. ALL EXTERIOR LIGHTING BELOW 3 FEET IN HEIGHT SHALL BE FULLY SHIELDED. ALL EXTERIOR LIGHTING ABOVE 3 FEET IN HEIGHT SHALL CONSIST OF HORIZONTAL FULL-CUTOFF FIXTURES AND DIRECTED DOWNWARD, EXCEPT LIGHTS UTILIZED FOR SECURITY PURPOSES.
71. ALL EXTERIOR LIGHTS INCLUDING THOSE MOUNTED TO BUILDINGS/STRUCTURES AND ON POLES SHALL NOT EXCEED A HEIGHT OF SIXTEEN (16) FEET. EXEMPTION: LIGHTS THAT ARE CONNECTED TO A DELAY SWITCH THAT DO NOT STAY ON MORE THAN 15 MINUTES FOR SECURITY PURPOSES SHALL NOT BE REQUIRED TO BE SHIELDED OR CONTAIN HORIZONTAL CUTOFFS.
72. EXTERIOR LIGHTING SHOULD BE LOW SCALE AND DIRECTED DOWNWARD, RECESSED OR SHIELDED SO THAT THE LIGHT SOURCE IS NOT VISIBLE FROM RESIDENTIAL DEVELOPMENTS IN THE AREA OR FROM A PUBLIC VIEWPOINT. EXTERIOR FIXTURES SHALL NOT GENERALLY EXCEED A HEIGHT OF 6 FEET MEASURED FROM THE NEAREST ADJACENT GRADE TO THE TOP OF THE FIXTURE (LOWER HEIGHTS MAY BE REQUIRED BY THE INSPECTION OR CODE ENFORCEMENT STAFF).
73. WHERE ON-SITE WALLS ARE PLACED ADJACENT TO NAOS AREAS AT LEAST 50 PERCENT OF THE WALL SURFACE SHALL BE A VIEW FENCE.
74. TEMPORARY/SECURITY FENCING THAT IS REQUIRED OR IS OPTIONALLY PROVIDED SHALL BE IN ACCORDANCE WITH THE ZONING ORDINANCE AND THE DESIGN STANDARDS AND POLICES MANUAL.
75. IN ACCORDANCE WITH THE ZONING ORDINANCE, A REGISTERED SURVEYOR SHALL STAKE AND ROPE THE MOST RESTRICTIVE AREA DEFINED BY THE CONSTRUCTION ENVELOPE AND NAOS EASEMENT AS SHOWN ON THE SITE PLAN.
76. NO PAINT COLOR OR SURFACE TREATMENT SHALL BE USED WHICH HAS A LIGHT REFLECTIVE VALUE (LRV) GREATER THAN 35%.
79. SITE WALLS MUST BE SETBACK 15 FEET FROM SIDE AND REAR PROPERTY LINES. THIS APPLIES ONLY TO RESIDENTIAL PARCELS CONTAINING AN AREA OF 35,000 SQ FT OR LARGER.
80. WASHES OF 50 CFS OR GREATER FLOW SHALL BE IDENTIFIED AND WATERCOURSE(S) SHALL BE UNALTERED. IF WATERCOURSE(S) ARE ALTERED, PROVIDE A COPY OF THE WASH MODIFICATION APPROVAL LETTER AND REFERENCE THE CASE NUMBER ON THE SITE PLAN.
81. APPLICATIONS THAT HAVE RECEIVED A HARDSHIP EXEMPTION SHALL PROVIDE THE CASE NUMBER ON THE SITE PLAN.
82. SITE WALLS SHALL NOT BE PROVIDED IN NAOS AREAS OR DISRUPT THE CONTINUITY OF NAOS CORRIDORS.
83. IDENTIFY THE SPECIFIC LOCATION OF THE CONSTRUCTION ENVELOPE ON SITE PLAN. THE CONSTRUCTION ENVELOPE CONSISTS OF AN AREA ENCLOSED BY A LINE EXTENDING 15 FEET OUT FROM ALL DISTURBANCES ON LOT.

SCOTTSDALE FIRE DEPARTMENT GUIDELINES FOR EMERGENCY VEHICLE ACCESS

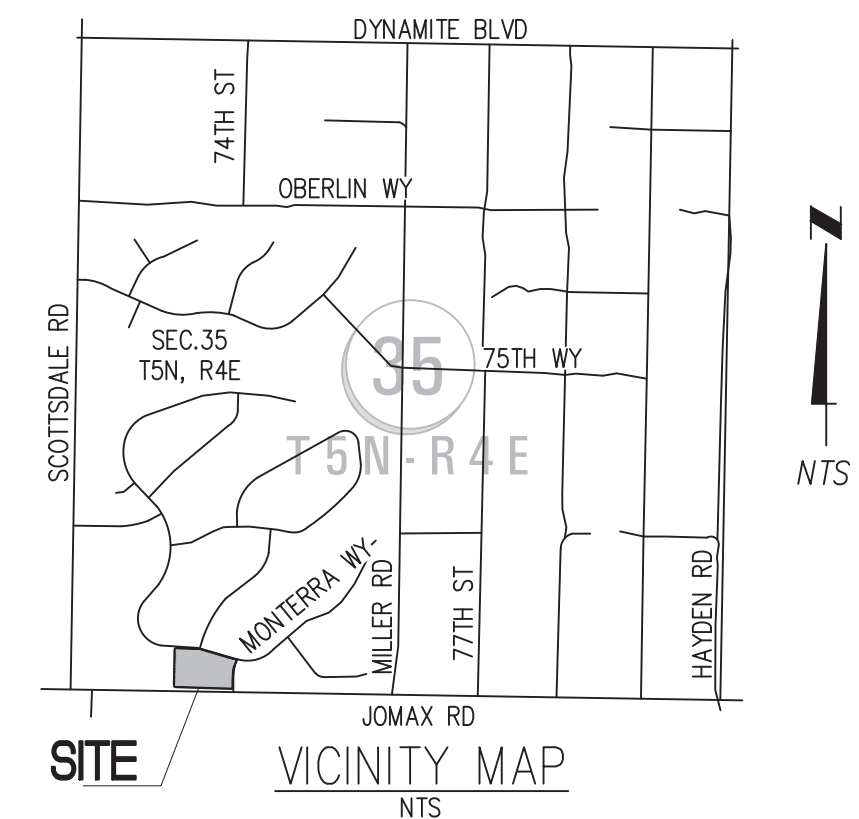
ACCESS GRADES FROM 0 TO 12% FOR ONE SINGLE FAMILY RESIDENCE						
Drive	Drive	Drive	Turn-a-round	Hose	Sprinkler Requirements	
Length	Width	Surface	Required	Lay	Mod-13d	Attic Pilot Heads & Patio Protection
Less < 200 feet	12'	Hard	No	More than 200 feet	Yes	Yes

GRADING & DRAINAGE PLAN FOR KIDWAI PROPERTY

A SINGLE FAMILY RESIDENCE at 7381 EAST MONTERRA WAY

A PORTION OF THE SOUTHWEST QUARTER OF SECTION 35, TOWNSHIP 5 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

LOCATION MAP



BENCHMARK

MCDOT BRASS CAP IN HAND HOLE (0.9' DOWN), LOCATED AT THE INTERSECTION OF SCOTTSDALE ROAD AND JOMAX ROAD. HAVING AN ELEVATION OF 2016.13 FEET NAVD '88. (GDACS# 42503-1)

SITE BENCHMARK: BRASS CAP IN CENTERLINE OF MONTERRA WAY, AT INTERSECTION OF 73RD WAY, HAVING AN ELEVATION OF 2036.29 FEET NAVD '88.

I HEREBY CERTIFY THAT ALL ELEVATIONS REPRESENTED ON THIS PLAN ARE BASED ON THE NAVD 1988 AND MEET THE FEMA BENCHMARK MAINTENANCE (BMM) CRITERIA.

SITE DATA

LEGAL DESCRIPTION
LOT 2 OF MOTERRA SUBDIVISION (MCR 378-27), SECTION THIRTY FIVE (35), TOWNSHIP FIVE (5) NORTH, RANGE FOUR (4) EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

AREA: 121,968 SqFt (2.8 Ac)
APN: 212-23-003
MCR: 378-27
ZONING: R1-70 PRD, ESL, FO
Q.S.: 49-45

LANDFORM CLASSIFICATION: LOWER DESERT

BUILDING SETBACKS (BSB):

FRONT/STREET SIDE 40' (NORTH)
SIDE 20' (WEST)
REAR 30' (SOUTH)

NAOS REQUIREMENTS:

REQUIRED: 30,492 SqFt (25% OF 121,968 SqFt)
[2-5% SLOPE = 25% OF LOT (LOWER DESERT AREA)]
PROVIDED: 72,074 SqFt (RECORDED, PER MCR 378-27)
UNDISTURBED: 72,074 SqFt (100%)
DISTURBED / REVEGED: 0 SqFt (0%)

UNDER ROOF: *REFERENCE BUILDING PLANS FOR DETAILS**
LOT COVERAGE: 8,519 SqFt PROPOSED UNDERROOF (6.9% TOTAL LOT COVERAGE)

WALL QUANTITIES

SCREEN WALL (CMU): 370 LF

NATIVE PLANTS

OWNER RESPONSIBLE FOR PROVIDING APPROVED NATIVE PLANT SURVEY TO CITY IF REQUIRED. NATIVE PLANT INFORMATION WILL NOT APPEAR ON GRADING & DRAINAGE PLAN

*** THERE IS NO PROTECTED NATIVE PLANTS AFFECTED BY PROPOSED CONSTRUCTION

FLOOD INSURANCE RATE MAP (FIRM)

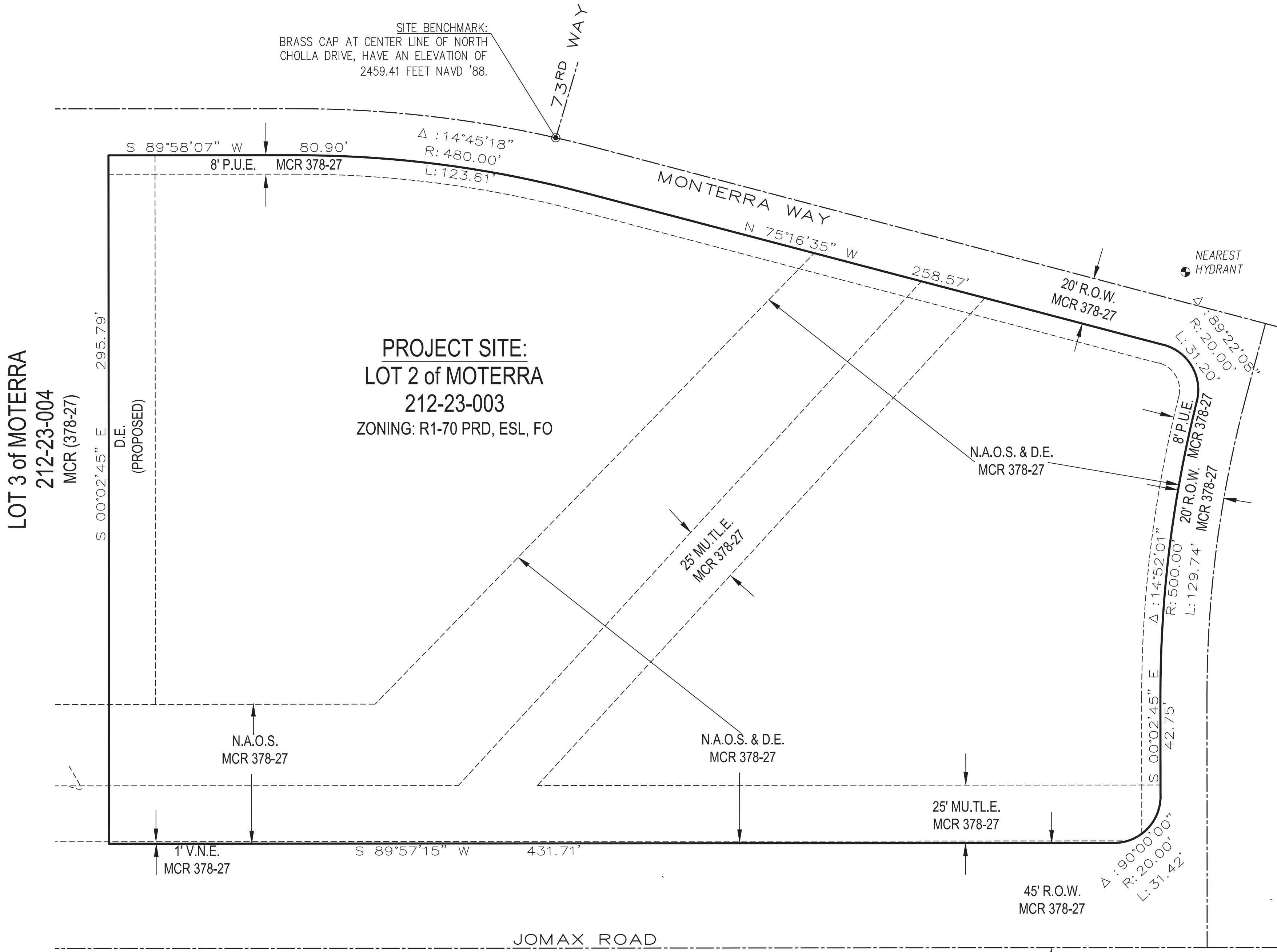
COMMUNITY NUMBER	PANEL NUMBER (Panel Date)	SUFFIX	DATE OF FIRM (Issue Date)	FIRM ZONE	BASE FLOOD ELEVATION (IN ADJ ZONE USE DEPTH)
04013C	1306 07/20/21	M	7/20/21	X	N/A

ENGINEER'S CERTIFICATION STATEMENT

THE LOWEST FLOOR ELEVATION(S) AND/OR FLOODPROOFING ELEVATION(S) ON THIS PLAN ARE SUFFICIENTLY HIGH TO PROVIDE PROTECTION FROM FLOODING CAUSED BY A ONE-HUNDRED YEAR STORM, AND ARE IN ACCORDANCE WITH CITY OF SCOTTSDALE REVISED CODE, CHAPTER 37 - FLOODPLAIN & STORMWATER REGULATIONS.

OWNER

FARHAT KIDWAI
27038 NORTH 73RD STREET
SCOTTSDALE, AZ 85266
C/O: GEORGE KASNOFF
(480) 262-6883
KASNOFF@AOL.COM



ENGINEER

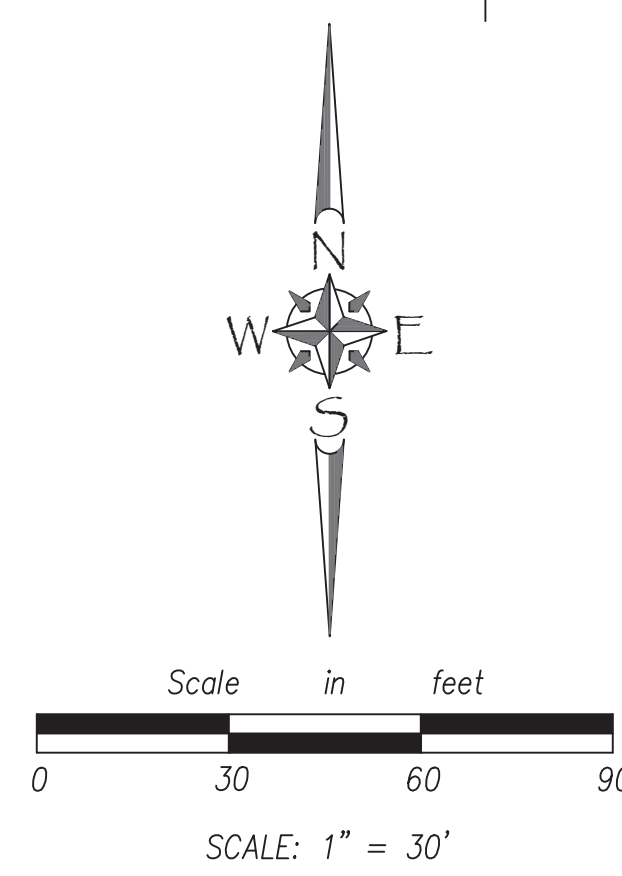
S S E
11350 SOUTH VIEWPOINTE WAY
YUMA, ARIZONA 85367
PRINCIPLE: STEVE SEITZ
PROJECT MANAGER: CLINT SCHERF
PH. 480-225-4920

SURVEYOR

LAND DEVELOPMENT GROUP
8808 N CENTRAL AVE, SUITE 288
PHOENIX, AZ 85020
(602) 889-1984
SURVEY DATE: MAY, 2022

ENGINEERING NOTES:

1. TOPOGRAPHIC/BOUNDARY SURVEY WAS DONE BY OTHERS, S.S.E. MAKES NO ASSURANCES TO THE ACCURACY OF CONTOURS, BOUNDARY LOCATIONS, OR EASEMENT LOCATIONS WITHIN SAID SURVEY.
2. THE BUILDING SETBACKS, ENVELOPE AND LOT COVERAGE ARE SHOWN PER THE ZONING DISTRICT. SETBACKS AND OTHER RESTRICTIONS CREATED BY AMENDED STANDARDS OR COVENANTS MAY BE APPLICABLE. FINAL INTERPRETATION IS THE RESPONSIBILITY OF THE OWNER OF SAID PROPERTY AND THE CORRESPONDING GOVERNMENTAL AGENCY OVERSEEING SAID PROPERTY.
3. WATERMAIN AND SEWER LOCATIONS ARE BASED ON INFORMATION PROVIDED BY THE CITY OF SCOTTSDALE AND MONUMENTS FOUND IN THE FIELD MAY NOT BE EXACT. CONTRACTOR TO VERIFY ACTUAL SIZES, LOCATIONS AND TYPES OF ALL UTILITIES PRIOR TO CONSTRUCTION.
4. CONTRACTOR TO ENSURE POSITIVE DRAINAGE FROM BUILDING FOUNDATION FOR A MINIMUM OF 5% SLOPE FOR 10 FEET, NOTIFY ENGINEER OF ANY DISCREPANCIES.
5. ALL COMPACTION, EXCAVATION AND BACK FILL SHALL BE DONE IN ACCORDANCE WITH GEOTECHNICAL REPORT OR AT MINIMUM A 95% COMPACTION RATE IS REQUIRES PER ASTM D698.
6. ALL SURFACE AND UNDERGROUND DRAINAGE SYSTEM, ARE TO BE MAINTAINED BY OWNER, INCLUDING MAINTENANCE.
7. AND CLEANING. PERIODIC MAINTENANCE WILL KEEP SYSTEM OPERATING PROPERLY.
8. POOL AND SPA BUILDING PERMIT TO BE OBTAINED BY OTHERS, AND DESIGN SPECS ARE NOT PART OF THIS PLAN. LOCATION OF SAID FACILITIES ON THIS PLAN ARE APPROXIMATIONS, AND ARE NOT FOR CONSTRUCTION.
9. ON-SITE PLANT SALVAGE INFORMATION SHOWN HEREON IS FOR CITY OF SCOTTSDALE PLAN APPROVAL PURPOSES
10. ONLY S.S.E. ASSUMES NO LIABILITY FOR THE EVALUATION, SALVAGE ABILITY, REMOVAL, AND/OR RELOCATION OF
11. ON-SITE PLANT MATERIALS. CONTACT SALVAGE CONTRACTOR FOR MORE INFORMATION.
12. THE PAD ELEVATIONS OF ALL NEW A/C &/OR ELECTRO-MECHANICAL UNITS WILL BE SET AT OR ABOVE R.F.E.



<p>Contact Arizona 811 at least two full working days before you begin excavation</p> <p>Call 811 or click Arizona811.com</p>	
<p>FIRST SUBMITTAL - CITY OF SCOTTSDALE</p> <p>08/22/22</p>	<p>FIRST SUBMITTAL - CITY OF SCOTTSDALE</p> <p>1/23/23</p>
<p>551AZ7204@GMAIL.COM</p> <p>(480) 225-4920</p>	
<p>CIVIL - STRUCTURAL</p> <p>RESIDENTIAL - COMMERCIAL</p> <p>11350 SOUTH VIEWPOINTE WAY YUMA, ARIZONA 85367</p>	
<p>CIVIL ENGINEER</p> <p>PROJECT MANAGER: CLINT SCHERF (480) 225-4920</p>	
<p>Grading & Drainage Plan</p> <p>LOT 2 - MONTERRA</p> <p>7381 EAST MONTERRA WAY</p> <p>SCOTTSDALE, ARIZONA</p>	
<p>SCALE: AS NOTED</p>	
<p>PROJECT No: SSE-967-2022</p>	
<p>SHEET: GD 1 of 03</p>	

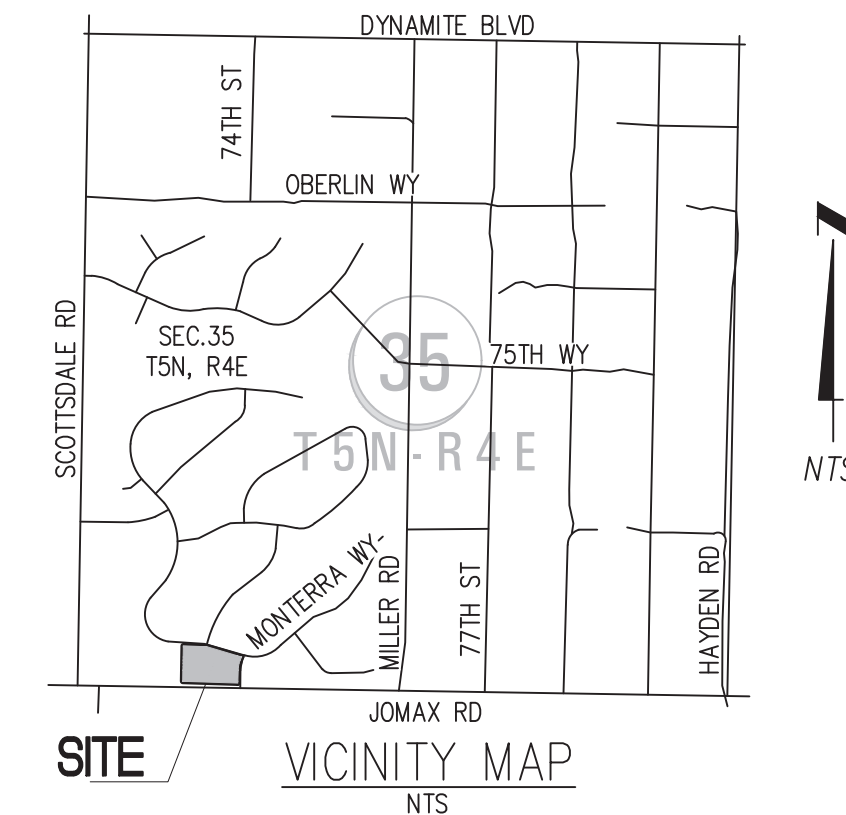
GRADING & DRAINAGE PLAN FOR KIDWAI PROPERTY

A SINGLE FAMILY RESIDENCE
at 7381 EAST MONTERRA WAY

A PORTION OF THE SOUTHWEST QUARTER OF SECTION 35, TOWNSHIP 5 NORTH, RANGE 4
EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA



LOCATION MAP



BENCHMARK

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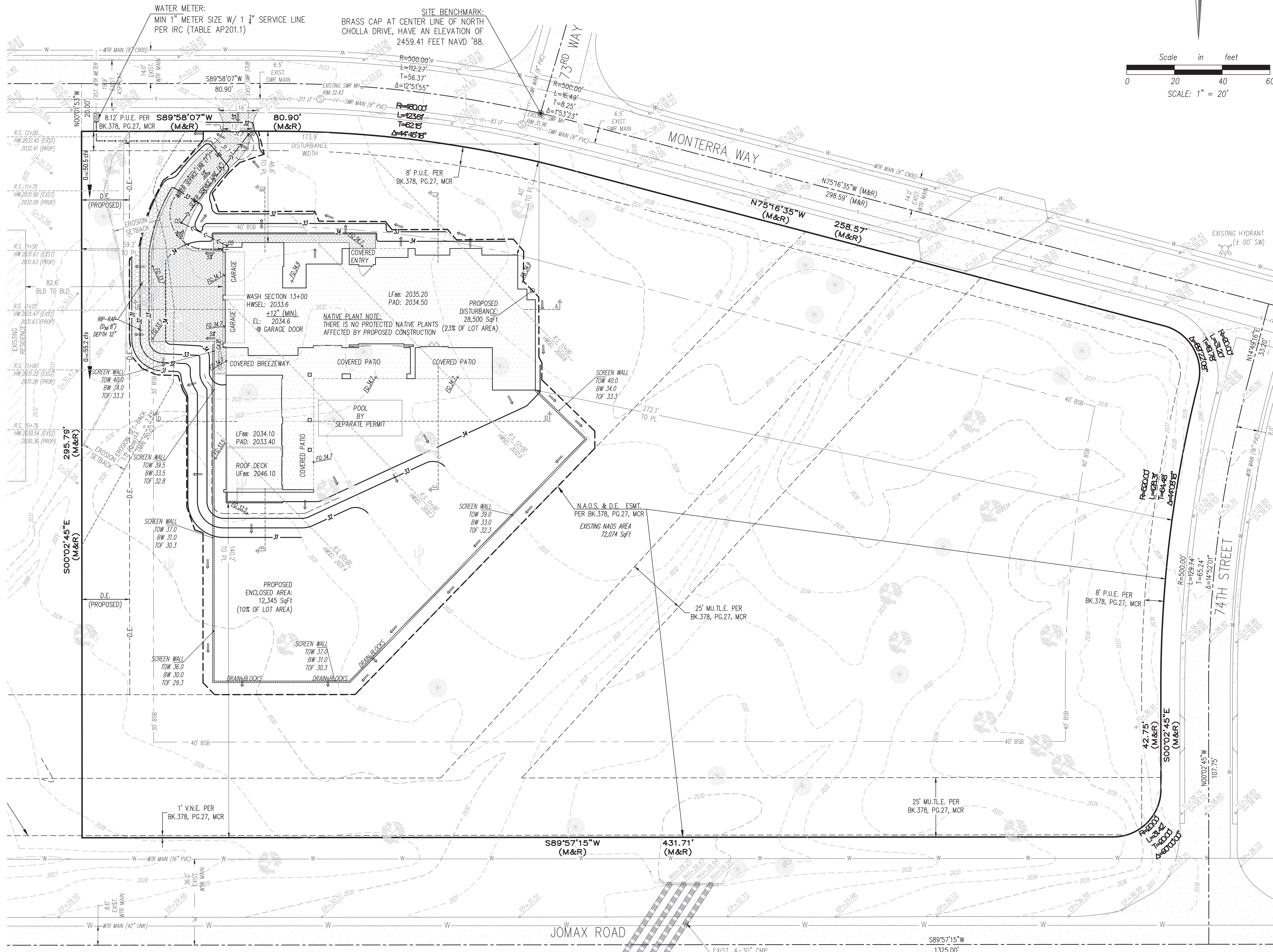
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(6.9% TOTAL LOT COVERAGE)

LEGEND

- MONUMENT LINE
- PROPERTY LINE
- OTHERS PROPERTY LINE
- EASEMENT
- B.S.L. BUILDING SETBACK LINE
- > SANITARY SEWER LINE
- W- WATER LINE
- ⊕ HYDRANT
- ⊗ WATER VALVE
- ⊙ WATER METER
- ☐ TELEPHONE BOX
- ☐ CABLE TV BOX
- ⊕ TRANSFORMER
- ⊙ SANITARY MANHOLE
- FOUND REBAR (AS NOTED)
- ⊙ FOUND BRASS CAP FLUSH
- SET REBAR (AS NOTED)
- P.U.E. PUBLIC UTILITIES EASEMENT
- D.E. DRAINAGE EASEMENT
- S.V.E. SIGHT VISIBILITY EASEMENT
- R/W RIGHT OF WAY
- ☼ BARREL CACTUS
- ☼ PALO VERDE
- ☼ MESQUITE
- ☼ Ocotillo
- ☼ Saguaro
- ☼ RIPRAP/ROCK



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ARIZONA 811
Call 811 or click Arizona811.com

FIRST SUBMITTAL - CITY OF SCOTTSDALE	08/22/22	FIRST SUBMITTAL - CITY OF SCOTTSDALE	11/09/23
FIRST SUBMITTAL - CITY OF SCOTTSDALE	1/23/23		

PROJECT INFO - PLEASE CONTACT PROJECT MANAGER CLINT SCHERF (480) 225-4920

5514272004@GMAIL.COM

CIVIL - STRUCTURAL

RESIDENTIAL - COMMERCIAL

11350 SOUTH VILPPOINT WAY
YUMA, ARIZONA 85367

CIVIL ENGINEER

CLINT SCHERF (480) 225-4920

Grading & Drainage Plan

LOT 2 - MONTERRA
7381 EAST MONTERRA WAY
SCOTTSDALE, ARIZONA

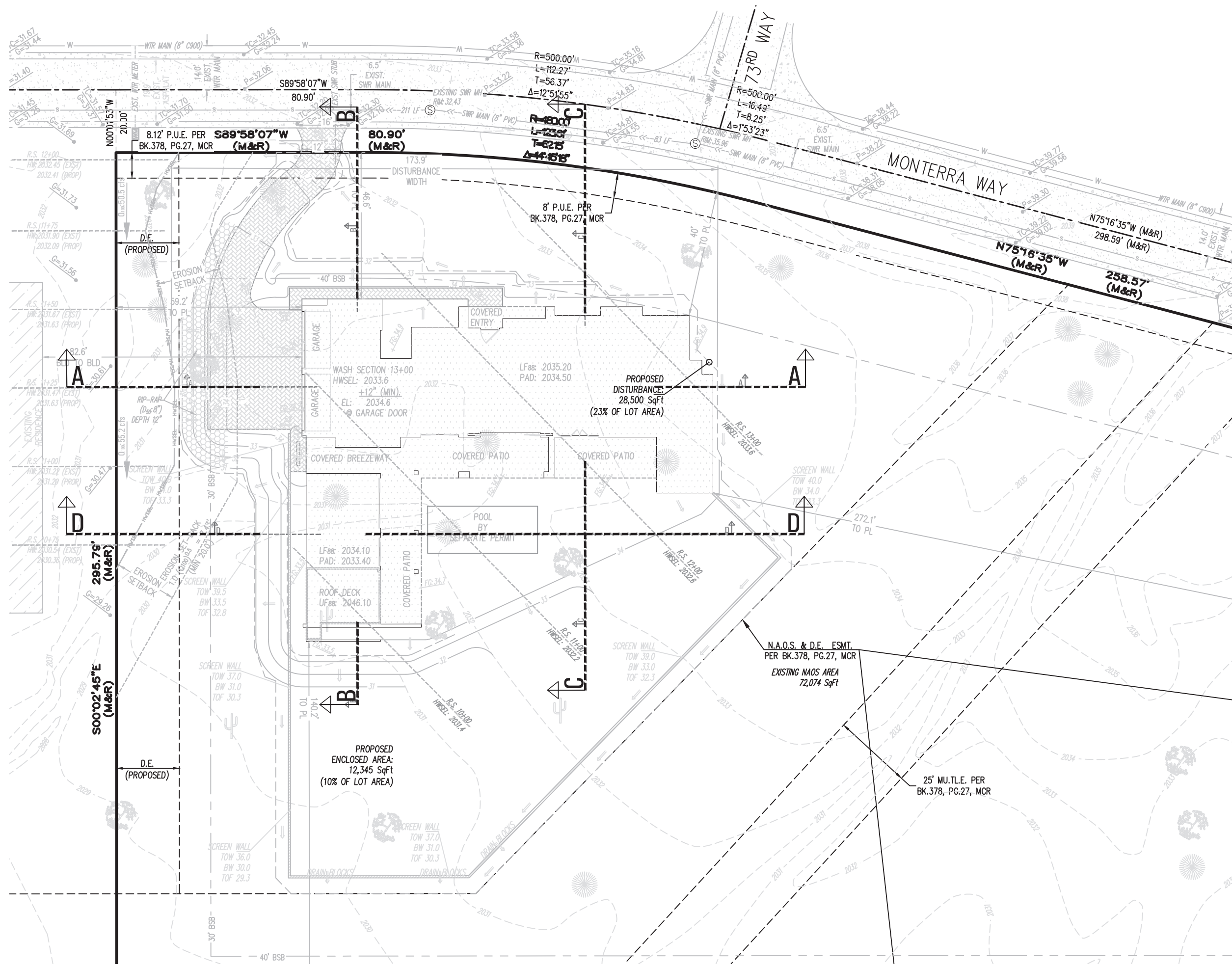
COS PLAN CHK# 8396 - 2

SCALE:	AS NOTED
PROJECT No:	SSE-967-2022
SHEET:	GD 2 of 03

GRADING & DRAINAGE PLAN FOR KIDWAI PROPERTY

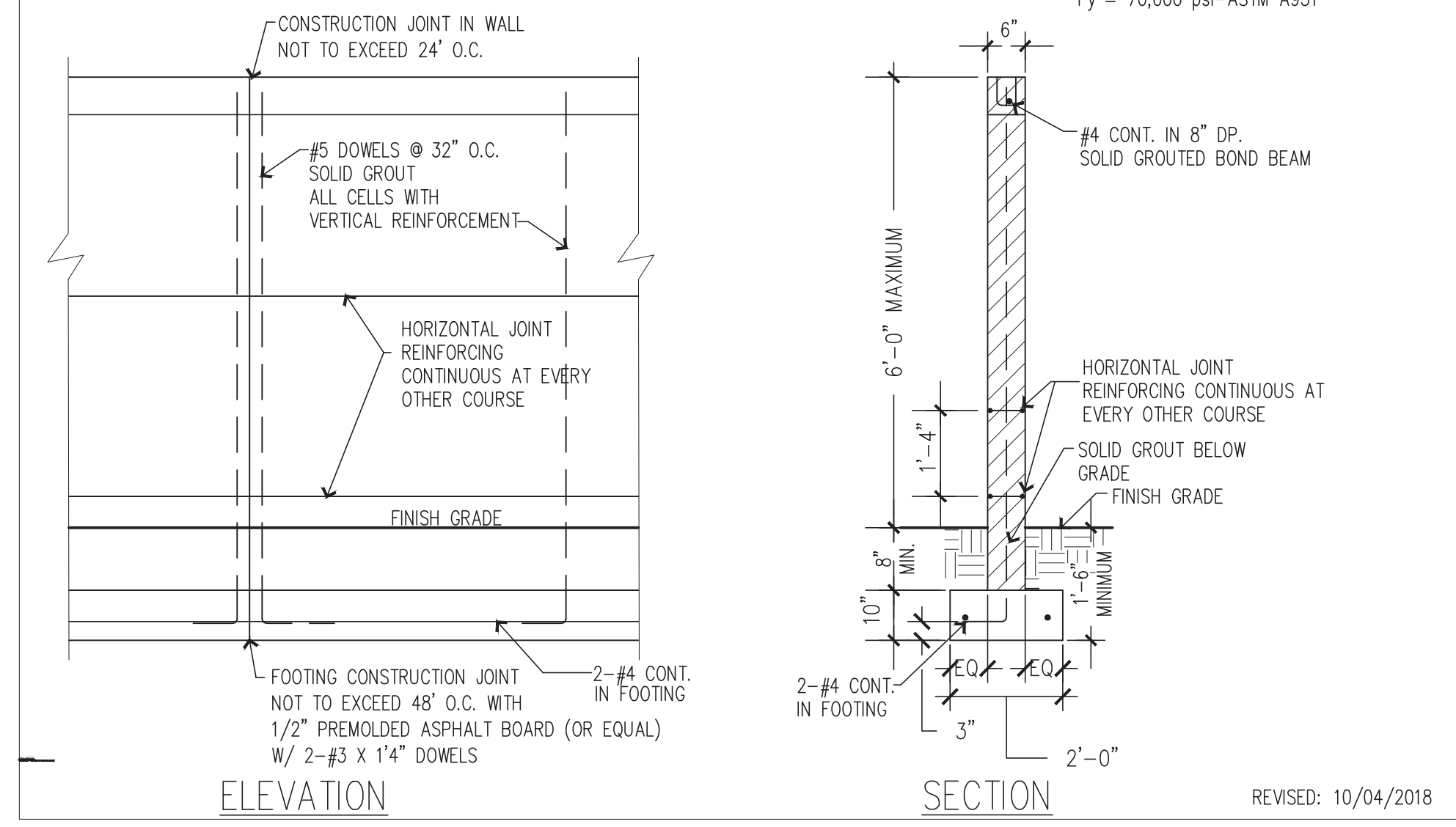
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EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA



WALL DETAIL

- THIS DETAIL SHALL APPLY TO WALLS 6'-0" OR LESS IN HEIGHT
- SEPARATE APPROVAL BY THE PLANNING DEPARTMENT IS REQUIRED
- SEPARATE APPROVAL BY THE STORMWATER DEPARTMENT IS REQUIRED
- INDICATE DRAIN BLOCKS AT FINISH GRADE, AS REQUIRED, ON FINAL PLANS
- THE CITY OF SCOTTSDALE SHALL NOT ADDRESS ANY VARIATION OF THE DETAIL SHOWN BELOW.
- THE CITY OF SCOTTSDALE MAKES NO RESERVATIONS AND ASSUMES NO RESPONSIBILITY OR LIABILITY IN PROVIDING THIS STANDARD DETAIL. OWNERS/APPLICANTS AND PROFESSIONALS USING THIS DETAIL SHALL ASSUME FULL RESPONSIBILITY FOR ITS DESIGN.
- OWNERS/APPLICANTS ARE ENCOURAGED TO CONSULT WITH A PROFESSIONAL ENGINEER OR ARCHITECT LICENSED BY THE STATE OF ARIZONA REGARDING THE NEEDS FOR THEIR PROJECT, AN ENGINEER OR ARCHITECT LICENSED BY THE STATE OF ARIZONA COULD DETERMINE DIFFERENT DETAILS OR SPECIFICATIONS.
- OWNER/APPLICANT/BUILDER IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS AT THE FOOTING'S BEARING SURFACE AND IS SOLELY RESPONSIBLE FOR THE PERFORMANCE OF FOOTING.



WALL QUANTITIES

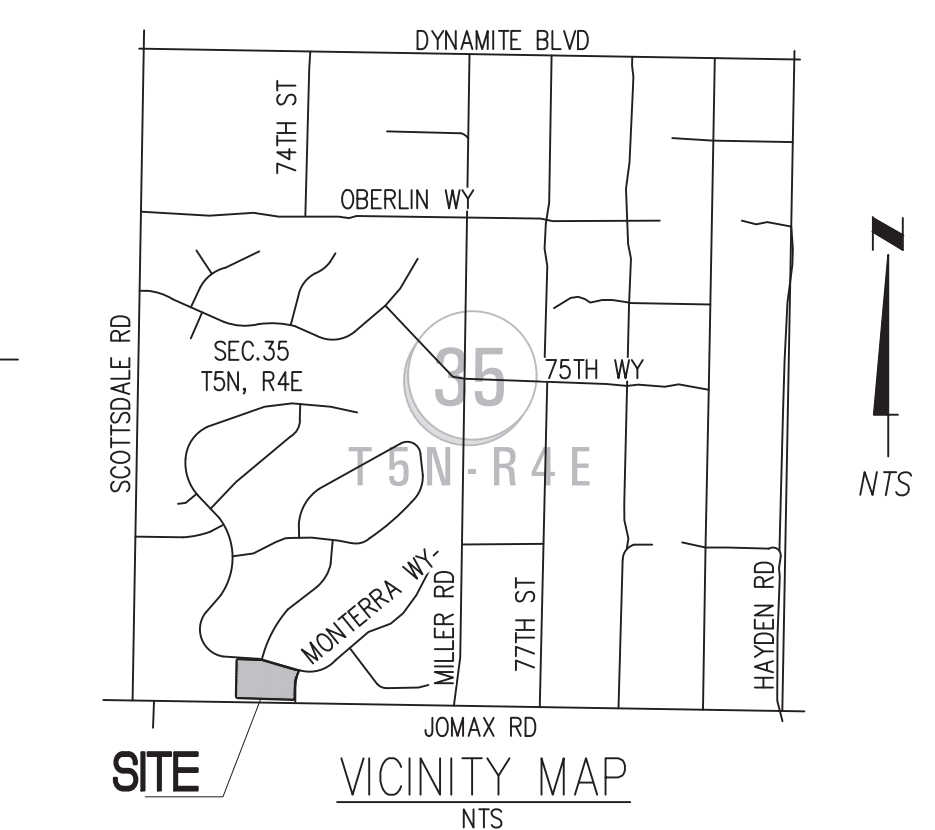
SCREEN WALL (CMU): 370 LF

8" MASONRY WALL PER 2015 IBC

WIND LOAD: 21 psf(ultimate) per ASCE 7-16
 CMU: 1m: 1900 psi-ASTM C90
 MORTAR: ASTM TYPE S-ASTM C270
 GROUT: f_c = 2000 psi-ASTM C476
 REINFORCING: f_y = 60,000 psi-ASTM A615
 CONCRETE: f_c = 2500 psi-ASTM A615
 JOINT REINFORCING: W1.7 LADDER TYPE, f_y = 70,000 psi-ASTM A951

CITY OF SCOTTSDALE MINIMUM STANDARD

LOCATION MAP



BENCHMARK

MCDOT BRASS CAP IN HAND HOLE (0.9' DOWN), LOCATED AT THE INTERSECTION OF SCOTTSDALE ROAD AND JOMAX ROAD. HAVING AN ELEVATION OF 2016.13 FEET NAVD '88. (GDACS# 42503-1)

SITE BENCHMARK: BRASS CAP IN CENTERLINE OF MONTERRA WAY, AT INTERSECTION OF 73RD WAY, HAVING AN ELEVATION OF 2036.29 FEET NAVD '88.

I HEREBY CERTIFY THAT ALL ELEVATIONS REPRESENTED ON THIS PLAN ARE BASED ON THE NAVD 1988 AND MEET THE FEMA BENCHMARK MAINTENANCE (BMM) CRITERIA.

SITE DATA

LEGAL DESCRIPTION
 LOT 2 OF MOTERRA SUBDIVISION (MCR 378-27), SECTION THIRTY FIVE (35), TOWNSHIP FIVE (5) NORTH, RANGE FOUR (4) EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

AREA: 121,968 SqFt (2.8 Ac)
 APN: 212-23-003
 MCR: 378-27
 ZONING: R1-70 PRD, ESL, FO
 Q.S.: 49-45

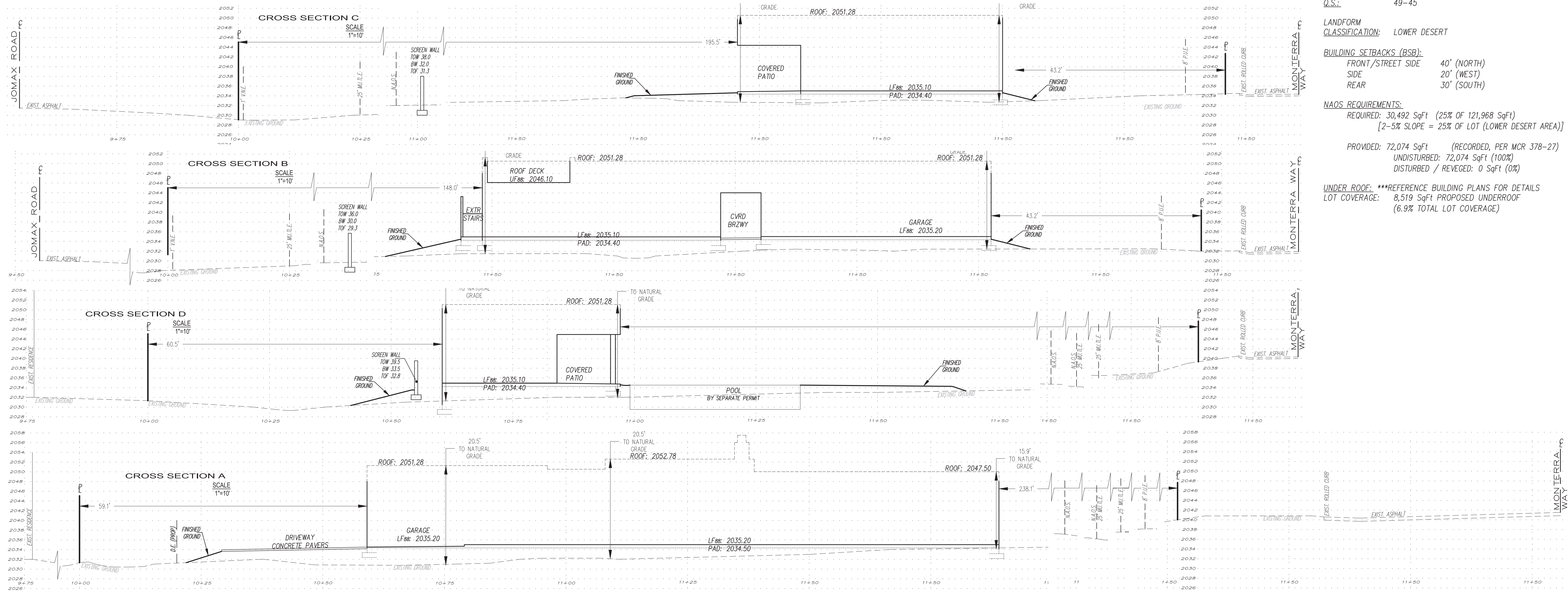
LANDFORM CLASSIFICATION: LOWER DESERT

BUILDING SETBACKS (BSB):
 FRONT/STREET SIDE 40' (NORTH)
 SIDE 20' (WEST)
 REAR 30' (SOUTH)

NAOS REQUIREMENTS:
 REQUIRED: 30,492 SqFt (25% OF 121,968 SqFt)
 [2-5% SLOPE = 25% OF LOT (LOWER DESERT AREA)]
 PROVIDED: 72,074 SqFt (RECORDED, PER MCR 378-27)
 UNDISTURBED: 72,074 SqFt (100%)
 DISTURBED / REVEGED: 0 SqFt (0%)

UNDER ROOF: ***REFERENCE BUILDING PLANS FOR DETAILS
 LOT COVERAGE: 8,519 SqFt PROPOSED UNDERROOF
 (6.9% TOTAL LOT COVERAGE)

SITE SECTIONS



Contact Arizona 811 at least two full working days before you begin excavation
ARIZONA 811
 Call 811 or click Arizona811.com

08/22/22	FIRST SUBMITTAL - CITY OF SCOTTSDALE			
11/09/22	FIRST SUBMITTAL - CITY OF SCOTTSDALE			
1/23/23	FIRST SUBMITTAL - CITY OF SCOTTSDALE			

PROJECT INFO - PLEASE CONTACT PROJECT MANAGER CLINT SCHERF (480) 225-4920

5514272004@GMAIL.COM

CIVIL - STRUCTURAL

SSS

RESIDENTIAL - COMMERCIAL

11350 SOUTH VILPOINTE WAY
 YUMA, ARIZONA 85367

CIVIL ENGINEER

CLINT SCHERF (480) 225-4920

Grading & Drainage Plan

LOT 2 - MONTERRA
 7381 EAST MONTERRA WAY
 SCOTTSDALE, ARIZONA

SCALE: AS NOTED
 PROJECT No: SSE-967-2022
 SHEET: GD 3 of 03

COS PLAN CHK# 8396 - 2 2